



Housing Authority of the City of Perth Amboy

881 AMBOY AVENUE, P.O. BOX 390, PERTH AMBOY, NJ 08862

TELEPHONE: (732) 826-3110

FAX: (732) 826-3111

www.perthamboyha.org

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Executive Director

EDWARD TESTINO
Counsel

REQUEST FOR PROPOSAL FOR PROFESSIONAL APPRAISAL SERVICES

The Housing Authority of the City of Perth Amboy (HACPA) is seeking the services of a qualified professional appraisal service consultant. The selected firm will be responsible for providing appraisal services for two (2) multi-family Project Based Section 8 Low Income Tax Credit properties (see attached for further detail of properties to be appraised):

- Willow Pond – Tax Lot: 1.01 Tax Block: 399.04
- The Parkview – Tax Lot: 1 Tax Block: 192

Scope of Services:

- The selected firm will be responsible for completing a site inspection and providing HACPA with a Standard Residential Appraisal Report which conforms to the requirements set forth by United States Department of Housing and Urban Development (“HUD”) and/or the New Jersey Housing Mortgage Finance Agency (“NJHMFA”). The intended use of the appraisal is to provide an opinion of value and value any potential capital improvements to selected properties.
- The appraiser will be required to provide professional services in performing a complete independent appraisal and preparing appraisal reports, in accordance with the Uniform Standards of Professional Appraisal Practice (USPAP) and other required standards in accordance with the aforementioned instructions from HUD and/or NJHMFA for any property.
- The appraisal report must be acceptable to HUD and/or NJHMFA.
- The appraiser should demonstrate their capacity to complete the appraisal services and provide reports to HACPA within 4 weeks of contract award.

Proposal Requirements:

- Qualified appraisers must be licensed in the State of New Jersey and have experience with appraisals of multi-family Project Based Section 8 Tax Credit properties.
- Provide company background and qualifications.
- Detailed methodology and approach to the appraisal process.
- Timeline for completion of the appraisal.
- Fee structure and cost breakdown.
- References from previous clients.

Evaluation Criteria:

Appraisals will be evaluated based on the following criteria:

- Relevant experience and qualifications.
- Methodology and approach.
- Timeline and ability to meet deadline.
- Cost and fee structure.
- References and past performance.

Submission Instructions:

Please submit an original and two copies of your proposal no later than 2:00 p.m. on Thursday, February 27, 2025, to:

Mr. Douglas Dzema, Executive Director
881 Amboy Avenue, P.O. Box 390
Perth Amboy, NJ 08862

Contact Information:

For any questions or further information, please contact:

Mr. Douglas Dzema
(732) 826-3114
ddzema@perthamboyha.org

A. Project Narrative | Residences at Willow Pond Village

The Residences at Willow Pond Village is a residential project located on Chamberlain Avenue in Perth Amboy, Middlesex County, New Jersey. The site is located on land owned by the Housing Authority of the City of Perth Amboy (HACPA) and was formerly John A. Delaney Homes, a public housing site. Willow Pond Village will be a stand-alone affordable community, consisting of a 70-unit affordable family general occupancy development which includes five units for homeless individuals and families. HACPA will be leasing the land to ownership entity for the construction of this community.

The community itself also features a number of amenities, such as a 2,500 square-foot community room complete with management offices, social service offices, wireless internet, and a fitness center.

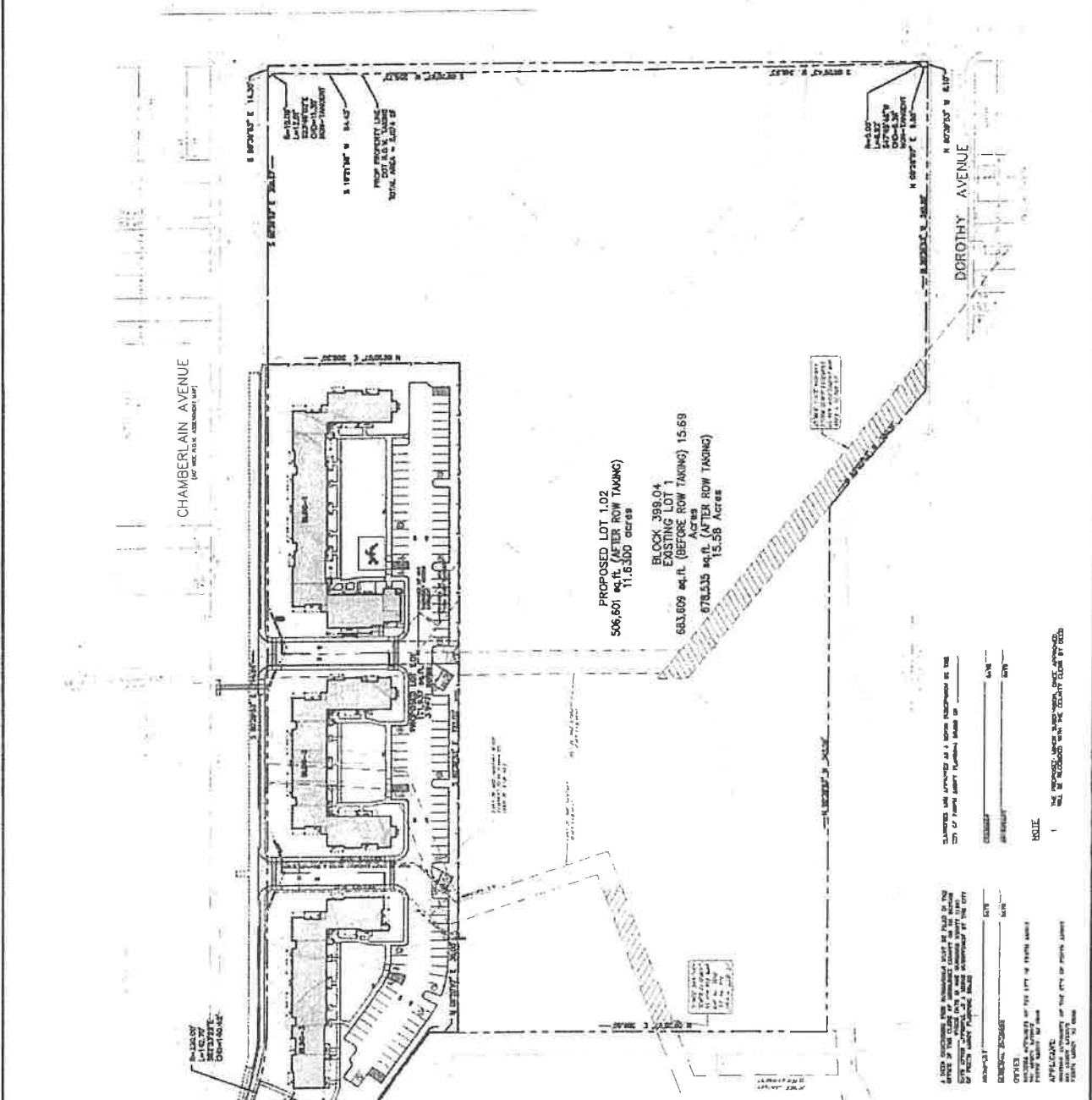
To accommodate a range of family sizes, the 70 units are broken down into 14 one-bedroom apartments, 36 two-bedroom apartments, and 20 three-bedroom apartments. 6 units will be project-based Section 8 units and 29 units will be allocated Annual Contribution Contracts (ACC) through the applicant's agreement with the Housing Authority.

The project was funded with 9% tax credits from HMFA, a grant from Federal Home Loan Bank and \$400,000 in HUD Replacement Housing Factor Funds.

The Development Partner with the Housing Authority is named Ingerman.

The Residences at Willow Pond Village's 70 family units and the 84 unit Parkview Senior Citizen complex recently constructed in 2011 represents the replacement housing units from the demolition of John A. Delaney Homes.

PLANS ARE FINAL FOR SANITARY SEWER DESIGN
 PER CITY AND COUNTY DOCKET # 2968



CONCRETE TABLE

NO.	DESCRIPTION	AMOUNT	UNIT
1	CONCRETE	100	YD
2	REINFORCING BARS	100	YD
3	FORMWORK	100	YD
4	PIPE	100	YD
5	VALVES	100	YD
6	MANHOLES	100	YD
7	CONCRETE	100	YD
8	REINFORCING BARS	100	YD
9	FORMWORK	100	YD
10	PIPE	100	YD
11	VALVES	100	YD
12	MANHOLES	100	YD
13	CONCRETE	100	YD
14	REINFORCING BARS	100	YD
15	FORMWORK	100	YD
16	PIPE	100	YD
17	VALVES	100	YD
18	MANHOLES	100	YD
19	CONCRETE	100	YD
20	REINFORCING BARS	100	YD
21	FORMWORK	100	YD
22	PIPE	100	YD
23	VALVES	100	YD
24	MANHOLES	100	YD
25	CONCRETE	100	YD
26	REINFORCING BARS	100	YD
27	FORMWORK	100	YD
28	PIPE	100	YD
29	VALVES	100	YD
30	MANHOLES	100	YD

***Perth Amboy Senior Enhanced Living Facility
Project Description***

The project involves the complete decommissioning, demolition, and soil remedial action of the former Middlesex County Vocational-Technical High School No. 2. The one acre property is located in Perth Amboy, NJ, and bordered by New Brunswick Avenue, Lee Street in Perth Amboy, and Western Parkway.

In its place will be constructed a new 4-story, (84) unit Senior Citizen Enhanced Living Facility of approximately 92,000 sf. The entire structure shall be handicapped adaptable, and will contain units for the physically impaired, units for the visually impaired and units for the hearing impaired. The administrative area shall include: Reception, Management Offices, Conference Room, File Area, Kitchenette, and Rest Rooms. The "enhanced" program includes: community room, recreation / TV room, and an exercise room.

The "L" Shaped building is placed on the site to address Lee Street and New Brunswick Avenue. Appropriate Parking has been provided at the rear of the site and accessed from Western Parkway. Circulation to the site is provided by means of curb cuts on Western Parkway and New Brunswick Avenue. Main public entry / drop-off to the facility occurs on inside of "L" from rear of site. Refuse pickup occurs from screened in area at rear of site.

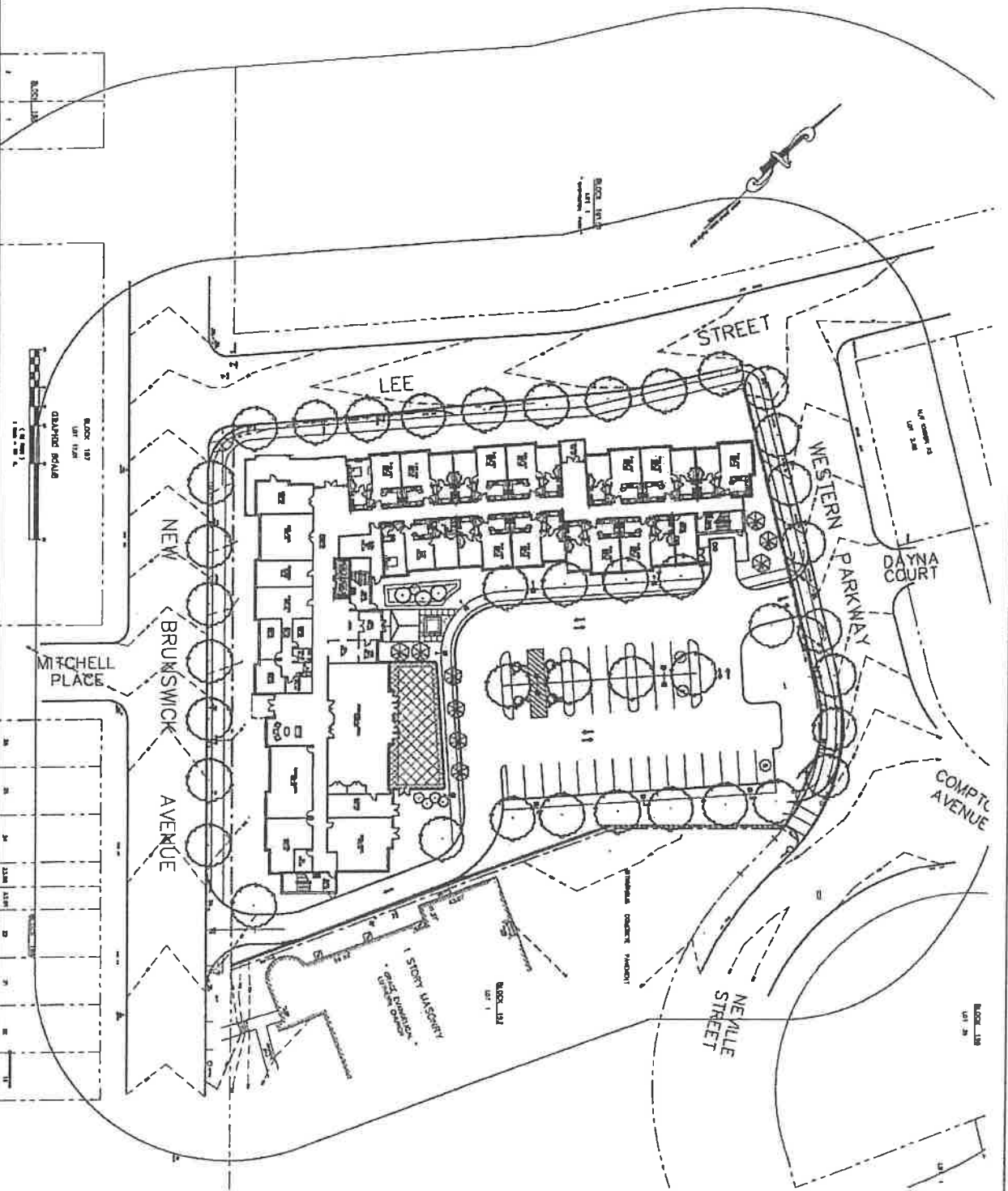
Building façade has multiple colors and textures of standard modular size face and accent brick. Fiber Cement siding of compatible colors will be utilized as well. Large double hung aluminum windows with applied muntins will be used throughout for units, etc. The roofing material shall be a mix of stainless steel metal at the upper portions and asphalt shingles at the lower portion. Storefront systems shall be utilized at major entry areas. Porch areas at the street elevations will consist of composite resin columns and balustrade. The overall appearance of the facility has been designed to blend with the established residential surroundings.

Program and conceptual requirements for the dwelling units themselves included are requirement for no studio apartments and 4 Two-bedroom apartments to accommodate residents with full time care givers. The apartments are organized to allow kitchen, dining and living areas to be open to each other to give the space a more spacious feeling. There are 12 fully accessible units and all units have been design to be adaptable for handicapped accessibility.

Perth Armbay Senior Enhanced Living Facility

August 1, 2007

41 GROUND FLOOR PLAN - SCALE 1/8" = 1'-0"



SYMBOL	DESCRIPTION
1	RECEPTION
2	ADMINISTRATIVE
3	ACTIVITY ROOM
4	KITCHEN
5	RESTROOM
6	STAFF ROOM
7	OFFICE
8	CONFERENCE ROOM
9	RECEPTION
10	RECEPTION
11	RECEPTION
12	RECEPTION
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100	RECEPTION